



EXISTING GUTTERS TO BE REMOVED AND REPLACED WITH NEW KYNAR FINISHED K STYLE GUTTER SYSTEM

EXISTING DOWNSPOUTS TO BE REMOVED AND REPLACED WITH NEW 4" DIAMETER KYNAR FINISHED ROUND DOWNSPOUTS

EXISTING NON-ORIGINAL DOORS, WINDOW, AND TRANSOM TO BE REPLACED WITH NEW PTD WOOD DOOR WITH VISION PANEL AND DOUBLE HUNG WINDOW SYSTEM

EXISTING PTD BEADBOARD AND TRIM TO BE REMOVED AND REPLACED WITH NEW PTD FIBER CEMENT INFILL PANELS W/ 4" LAP

EXISTING BASEMENT DOOR TO BE REMOVED AND REPLACED WITH NEW PTD WOOD DOOR WITH VISION PANEL

EXISTING CONCRETE STOOP AND RELATED MATERIAL TO BE REMOVED IN PREPARATION FOR NEW PATIO AND SCREEN PORCH STRUCTURE

**#0716 - 918 LUTTRELL STREET**  
THE HISTORIC FOURTH AND GILL NEIGHBORHOOD

KNOXVILLE HISTORIC ZONING COMMISSION  
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

03 MAY 2012

**EXISTING CONDITIONS**

# ALTERATIONS AND REPAIRS TO 918 LUTTRELL STREET

The Historic Fourth and Gill Neighborhood  
Knoxville, Tennessee 37917  
PROJECT #: 0716

OWNER:  
**ASHLEY AND BRANDON PACE**  
918 LUTTRELL STREET  
KNOXVILLE, TENNESSEE 37917  
T 865.329.0316 (BRANDON)

ARCHITECT:  
**SANDERS PACE ARCHITECTURE**  
133 SOUTH GAY STREET  
KNOXVILLE, TENNESSEE 37902  
T 865.329.0316  
F 865.546.2348

## PROJECT DATA

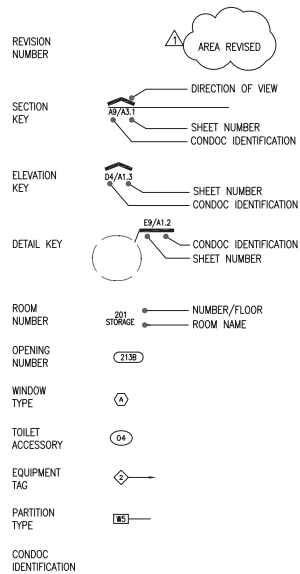
2006 INTERNATIONAL RESIDENTIAL CODE (IRC) (WITH LOCAL AMENDMENTS IF APPLICABLE)  
2006 INTERNATIONAL ELECTRIC CODE (WITH LOCAL AMENDMENTS IF APPLICABLE)  
2006 INTERNATIONAL GAS CODE WITH (WITH LOCAL AMENDMENTS IF APPLICABLE)  
2006 INTERNATIONAL MECHANICAL CODE (WITH LOCAL AMENDMENTS IF APPLICABLE)  
2006 INTERNATIONAL EXISTING BUILDING CODE

**BUILDING DATA**  
City of Knoxville Zoning Ordinance  
Currently Zoned R-1A B/H-1 Overlay  
Gross Floor Area: 1,576 S.F.  
Occupancy Classification:  
Residential (R-3)  
Construction Type:  
Type V-B, Unsprinkled - Unprotected  
Max. Number of Stories = 3  
Max. Floor Area/Floor = Unlimited

**Fire Protection Requirements:**  
None

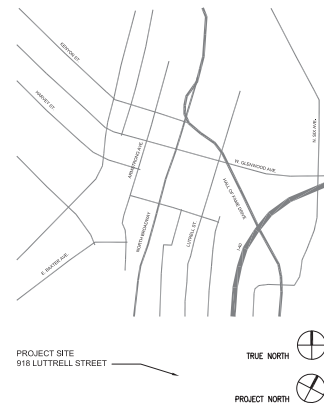
**Occupant Load:**  
Level 01 = 1,576 SF  
Residential Occupant Load = 200 gross  
1576 SF/200 = Total Occupant load = 8 People

## DRAWING SYMBOLS



XY	TITLE
FILENAME	SCALE

## PROJECT LOCATION



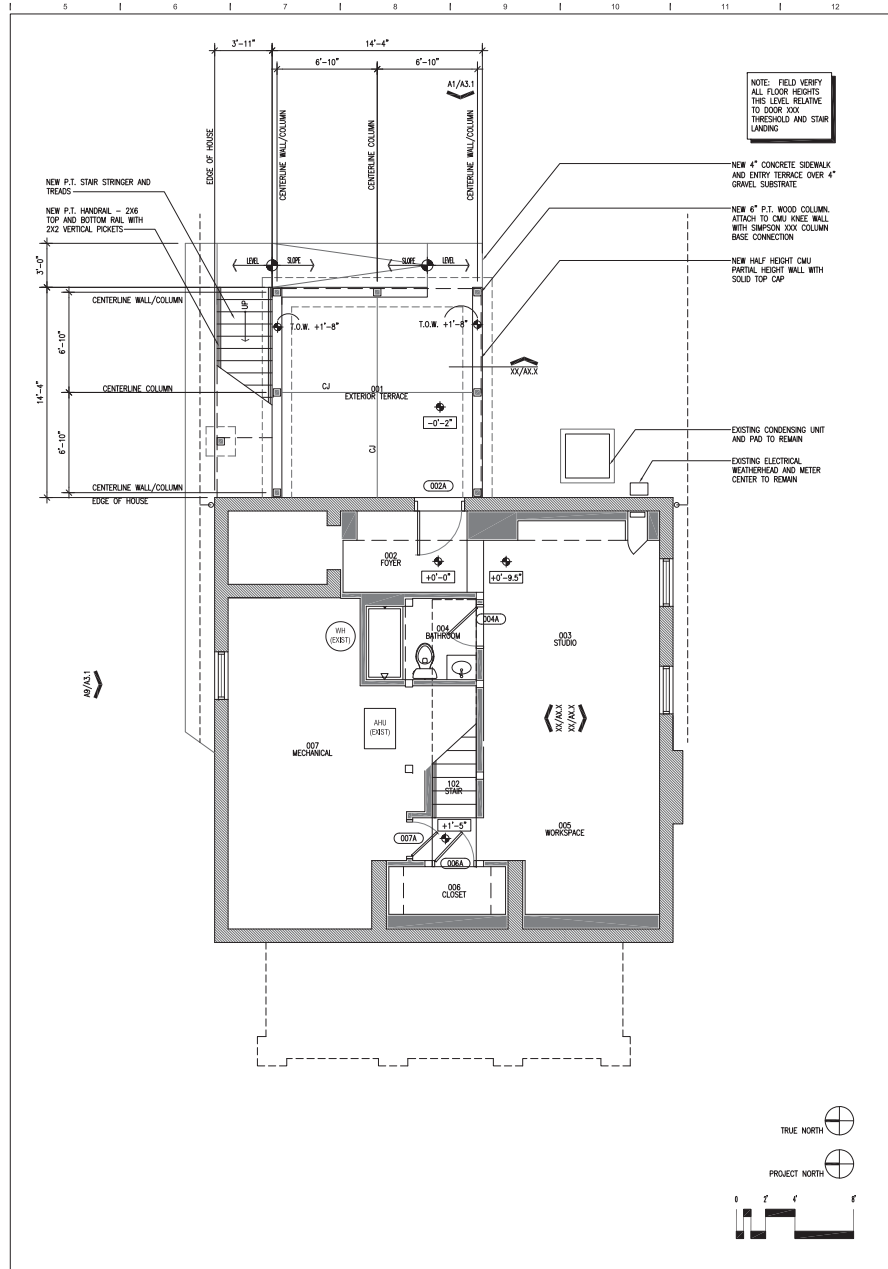
## DRAWING LIST

ARCHITECTURAL  
A1.1 FLOOR PLANS  
A1.2 FLOOR PLANS  
AS.1 ELEVATIONS

THESE DOCUMENTS ARE PREPARED WITHOUT SEALED STAMPS.

CHECKSET	15 MAR 2012
FOUNDATION PACKAGE	16 APRIL 2012
MPC SUBMITTAL	03 MAY 2012

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	WOOD STUD FRAMED WALL, SEE FINISH SCHEDULE FOR FINISHES.
	INTERIOR WALLS - 2X4 STUDS TYP., U.N.O. (NON-LOADBEARING) 2X6 STUDS, U.N.O. (LOADBEARING WALLS) 2X6 STUDS @ WALLS CONTAINING PLUMBING
	EXTERIOR WALLS - 2X6 STUDS U.N.O.
	EXISTING WOOD STUD FRAMED WALL
	OBJECTS OVERHEAD
	CENTERLINE
	ITEM TO BE DEMOLISHED
	8" CONCRETE MASONRY UNIT WALL, SEE MATERIAL SCHEDULE.
	EXISTING BRICK MASONRY WALL

K13	WALL LEGEND
0716_XLPT48	1/4" = 1'-0"

- PROVIDE FIRE TREATED WOOD BLOCKING AND UTILITIES NECESSARY FOR ITEMS NOT IN CONTRACT (N.I.C.). COORDINATE WITH OWNER FOR EXACT LOCATIONS OF OWNER-FURNISHED ITEMS.
- PROVIDE BLOCKING AS REQ'D FOR ALL CASEWORK AND EQUIPMENT.
- DIMENSIONS ARE FROM FACE OF STUD, CENTERLINE OF STRUCTURAL STEEL, AND FACE OF CMU BLOCK/CONCRETE, U.N.O.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. (WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE LATERALLY SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.)
- AT PENETRATIONS BY DUCTWORK, PIPING, OR OTHER OPENINGS PROVIDE APPROPRIATE LOAD-CARRYING LINTELS OR HEADERS INSTALLED OVER THE OPENINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
- THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL WITH THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF THE FOOTINGS, COLUMNS, SLABS, WALLS, SHAFTS, ETC. WITH ALL SUBCONTRACTORS INVOLVED.
- THE CONTRACTOR SHALL COORDINATE TOP OF FOOTING ELEVATIONS WITH PLUMBING, MECHANICAL, ELECTRICAL, ETC.
- SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF CONTROL JOINTS IN FLOOR SLABS.
- PROVIDE SOUND ATTENUATION BLANKETS IN WALLS WHERE INDICATED ON PLAN. PROVIDE SOUND ATTENUATION BLANKETS AROUND ALL MECHANICAL ROOMS AND TOILETS.
- HANDLE AND DISPOSE OF DEBRIS, MATERIALS AND TRASH IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
- SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS.
- CONTRACTOR SHALL COMPLETE ALL INSULATION WORK AND CONTACT ARCHITECT TO RECEIVE FIELD APPROVAL PRIOR TO INSTALLATION OF INTERIOR FINISHES.
- REFER TO SCHEDULES AND SPECIFICATIONS FOR ALL INTERIOR FINISHES.
- ALL DIMENSIONS MARKED "U.I.F." SHALL BE VERIFIED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK. REPORT ALL DISCREPANCIES TO ARCHITECT.
- CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION WITH OTHER TRADES. FAILURE TO FAMILIARIZE THEMSELVES WITH OTHER TRADES IN THE CONTRACT DOCUMENTS SHALL RESULT IN CORRECTING AND/OR PROVIDING THESE SERVICES AT NO ADDITIONAL COST TO THE OWNER.
- IN CASE OF DIMENSIONAL DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, ARCHITECTURAL DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL NOT SCALE THIS OR ANY OTHER DRAWING IN CONTRACT DOCUMENTS. DIMENSIONS SHALL ALWAYS BE USED FOR REFERENCE. CONTACT ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION OR FOR CLARIFICATION CONCERNING ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING FIXTURE AND EQUIPMENT LOCATIONS ON-SITE. IN THE EVENT DIMENSIONS ARE IN QUESTION OR IF ANY DISCREPANCIES ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL LIMIT DISTURBANCE TO EXISTING LANDSCAPING THROUGHOUT CONSTRUCTION.
- SOUND WRAP ALL SOLINES AND DOWNSPOUTS IN OCCUPIED SPACES.
- PROVIDE MOISTURE RESISTANT SHEET ROCK @ ALL WET AREAS.
- ALL W/O IN CONTACT WITH CONCRETE/CMU, EXTERIOR STEEL, SOIL TO BE P.T.
- FLASH ALL OPENINGS TO ACCEPTABLE INDUSTRY STANDARDS.
- PROVIDE SMOKE DETECTORS AS REQ'D BY A.H.J. COORDINATE LOCATIONS W/ ARCHITECT.

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 KNOXVILLE, TENNESSEE 37917  
 SPA PROJECT #: 0716

OWNER:  
**BRANDON AND ASHLEY PACE**  
 918 LUTTRELL STREET  
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 T 615.260.6025

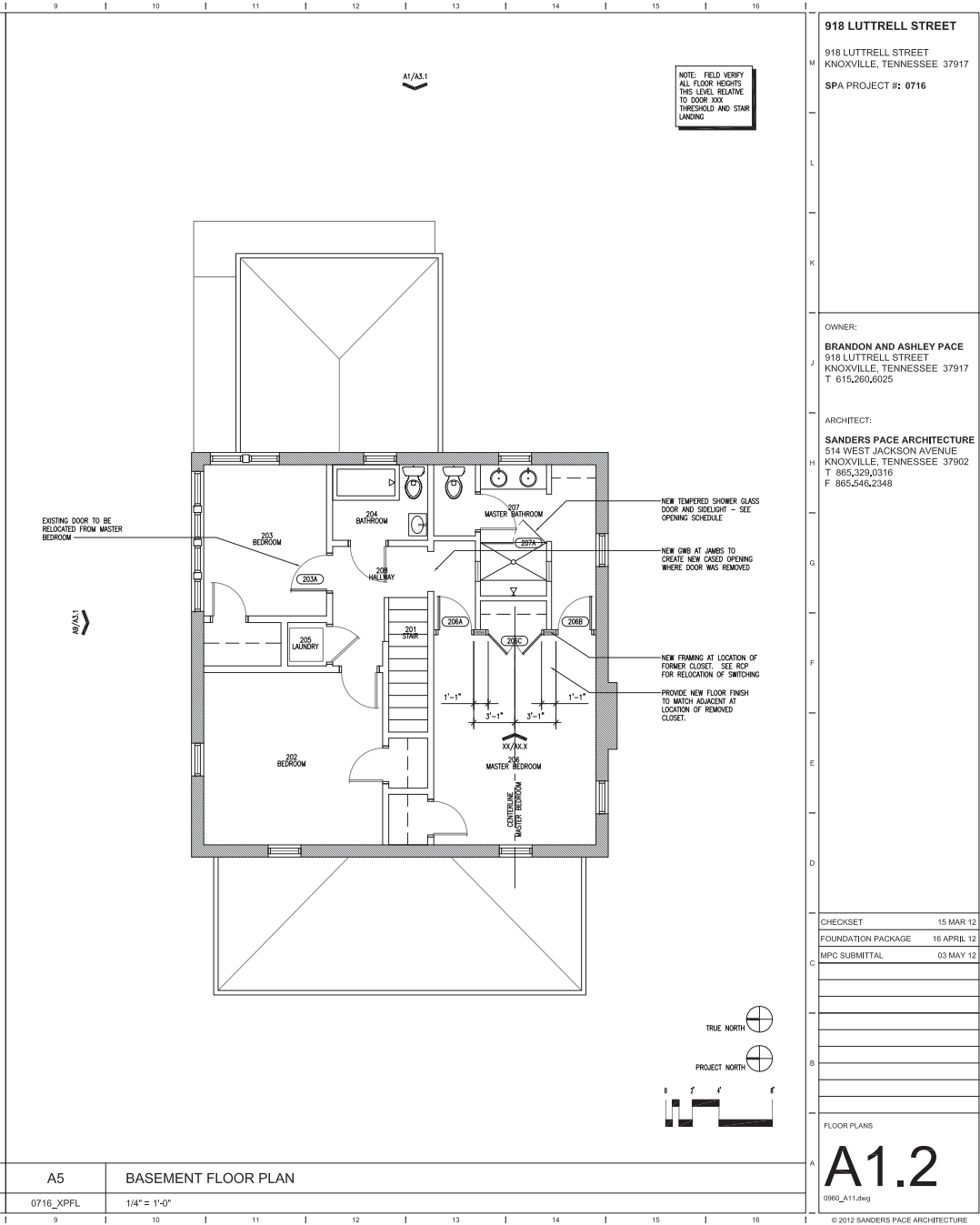
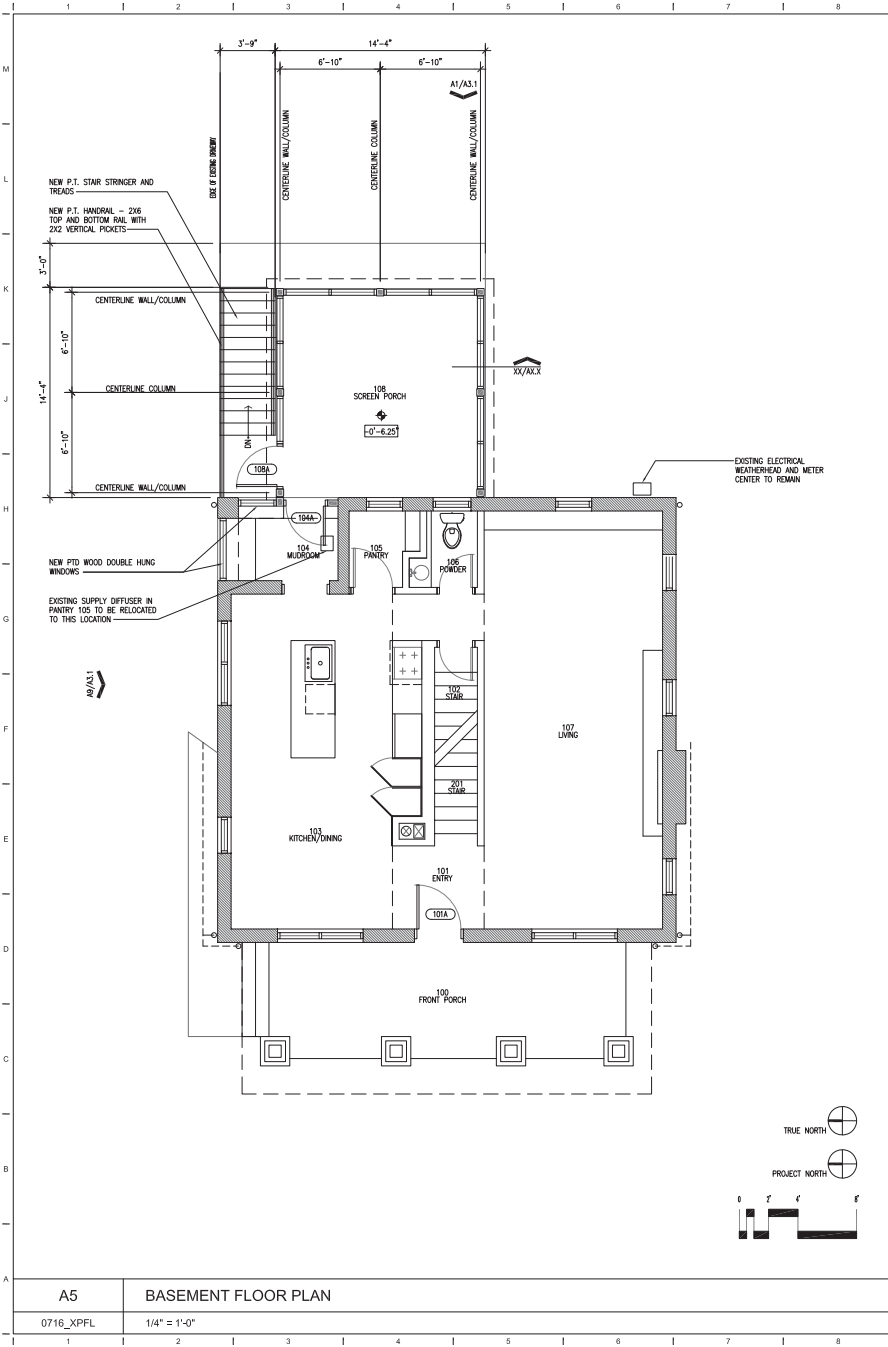
ARCHITECT:  
**SANDERS PACE ARCHITECTURE**  
 514 WEST JACKSON AVENUE  
 KNOXVILLE, TENNESSEE 37902  
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 F 865.546.2348

CHECKSET	15 MAR 12
FOUNDATION PACKAGE	16 APRIL 12
MPC SUBMITTAL	03 MAY 12

FLOOR PLANS  
**A1.1**  
 0960\_A11.dwg

A5	BASEMENT FLOOR PLAN
0716_XPFL	1/4" = 1'-0"

A13	GENERAL NOTES
0716_XNGP	NTS



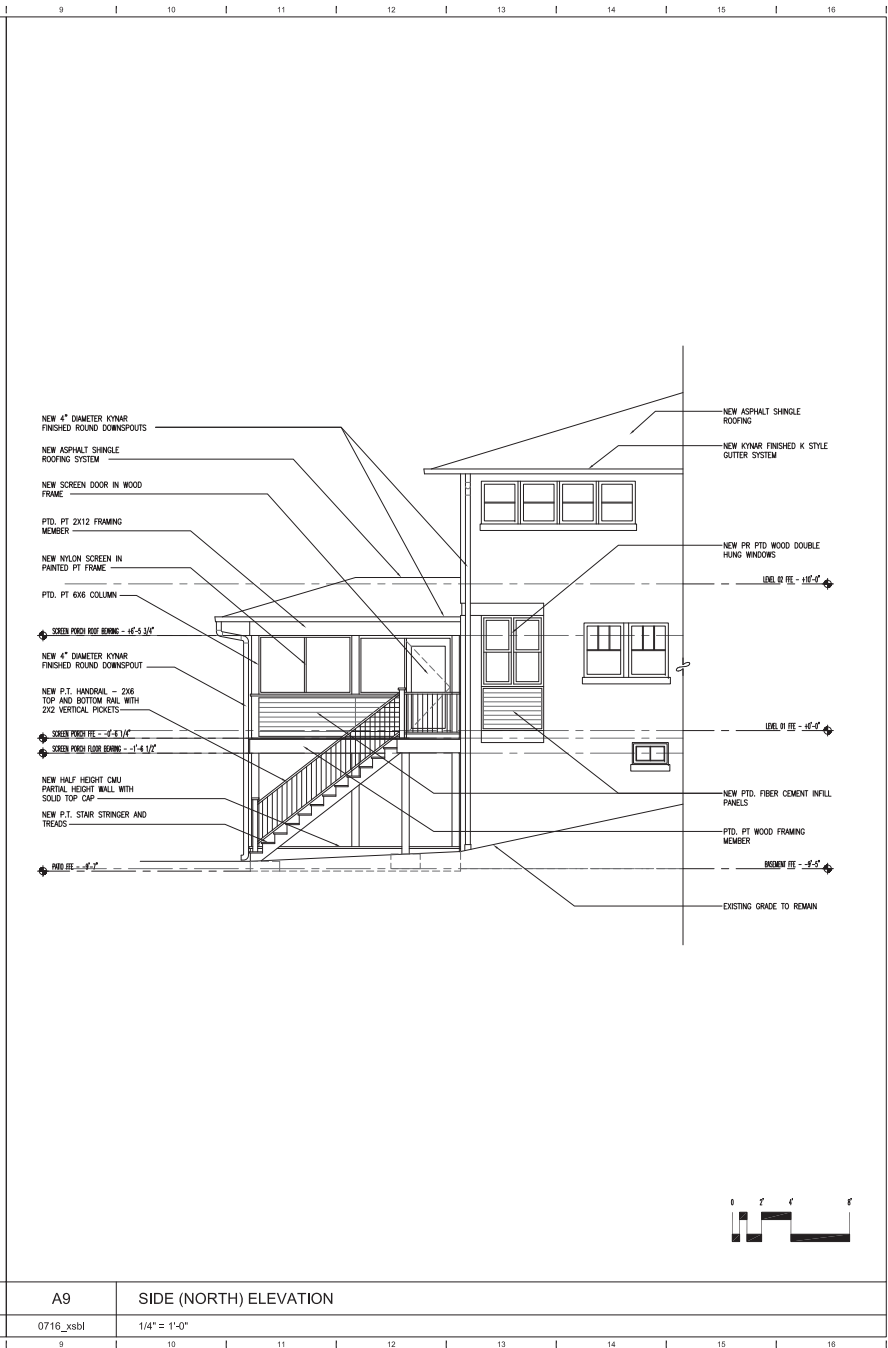
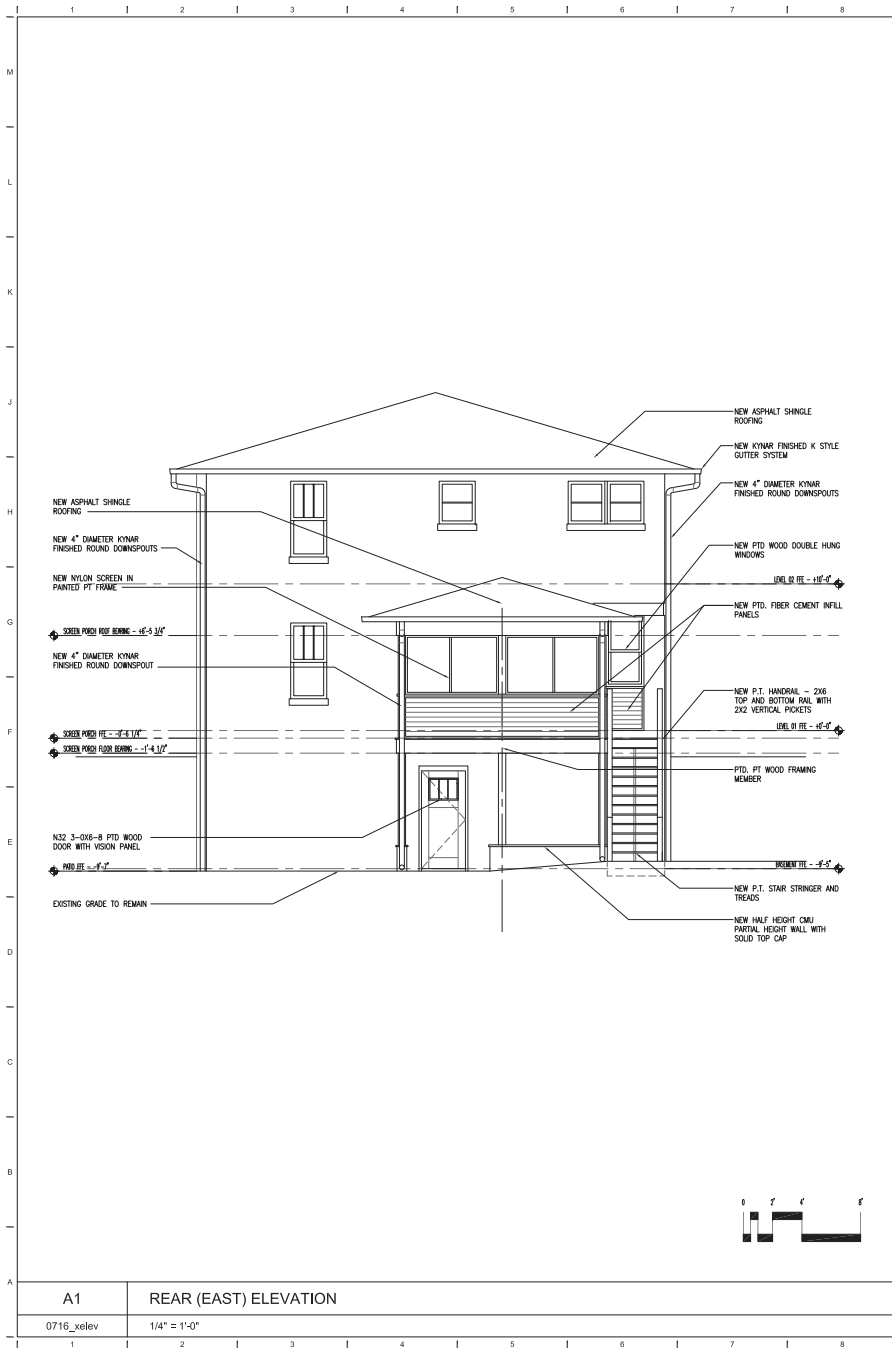
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FLOOR PLANS  
**A1.2**  
 0560\_A11.dwg  
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**SPA PROJECT #: 0716**

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BUILDING ELEVATIONS  
**A3.1**  
 0716\_A31.dwg  
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**1003 Eleanor Street**

This house was built circa 1900 and is George Barber Design #179 in Modern Dwellings. Not much historical information is known about this house. Exterior and interior pictures of the house are featured in the catalog, along with an extensive description of the house and its accommodations.



Pay close attention to the attic arched dormer with ocular window, full cornice returns, shaped-base decoration, and the full width front porch.



*If you have time, go to 516 Lovenia Street, which is George Barber Design #599 in Art in Architecture, but not included in this tour.*



**1701 Jefferson Avenue—The F.E. McArthur House**

This house was built circa 1889 for **F. E. McArthur**. It is George Barber Design #40 in Cottage Souvenir No. 2, and the actual house is pictured in the catalog. **Oscar B. Wise** lived in the house in 1920 and 1921; Wise was a well-known manufacturer, inventor, and fisherman. Wise was one of the founders of the Day Pulverizing Company, which built limestone mills. During Wise's time in the house, he started his own plant, the O.B. Wise Company, which was located on Sixth Avenue near Glenwood Avenue. The



company started as a handle factory and acquired Nelson Iron Works. This house was recently restored and still retains its impressive recessed wrap front porch and elaborate front gable with decorative attic windows.



PERSPECTIVE VIEW.

*Residence of F. E. McARTHUR, Knoxville, Tenn.*

## DESIGN No. 40.

Cost to build, as per description, \$2,975.

### NOTES.

It will be observed that instead of having a hall on first floor we have a rather large vestibule entrance, which opens into the two principal rooms. The dining room is separated from the parlor by curtains and the bed room by sliding doors. The stairway is accessible from the dining and bed rooms and is an easy flight. The kitchen is cut off from the dining room by a well-fitted serving room. There is also a large store room or pantry off from kitchen. The porches are ample and the bay window in parlor is glazed with handsome glass. The second story will be found ample and convenient. The hall is well lighted by transoms over the doors.

This is a very attractive design, and has been erected several times.

This plan can be enlarged, reduced or changed to front in any direction.

*(See page 10.)*



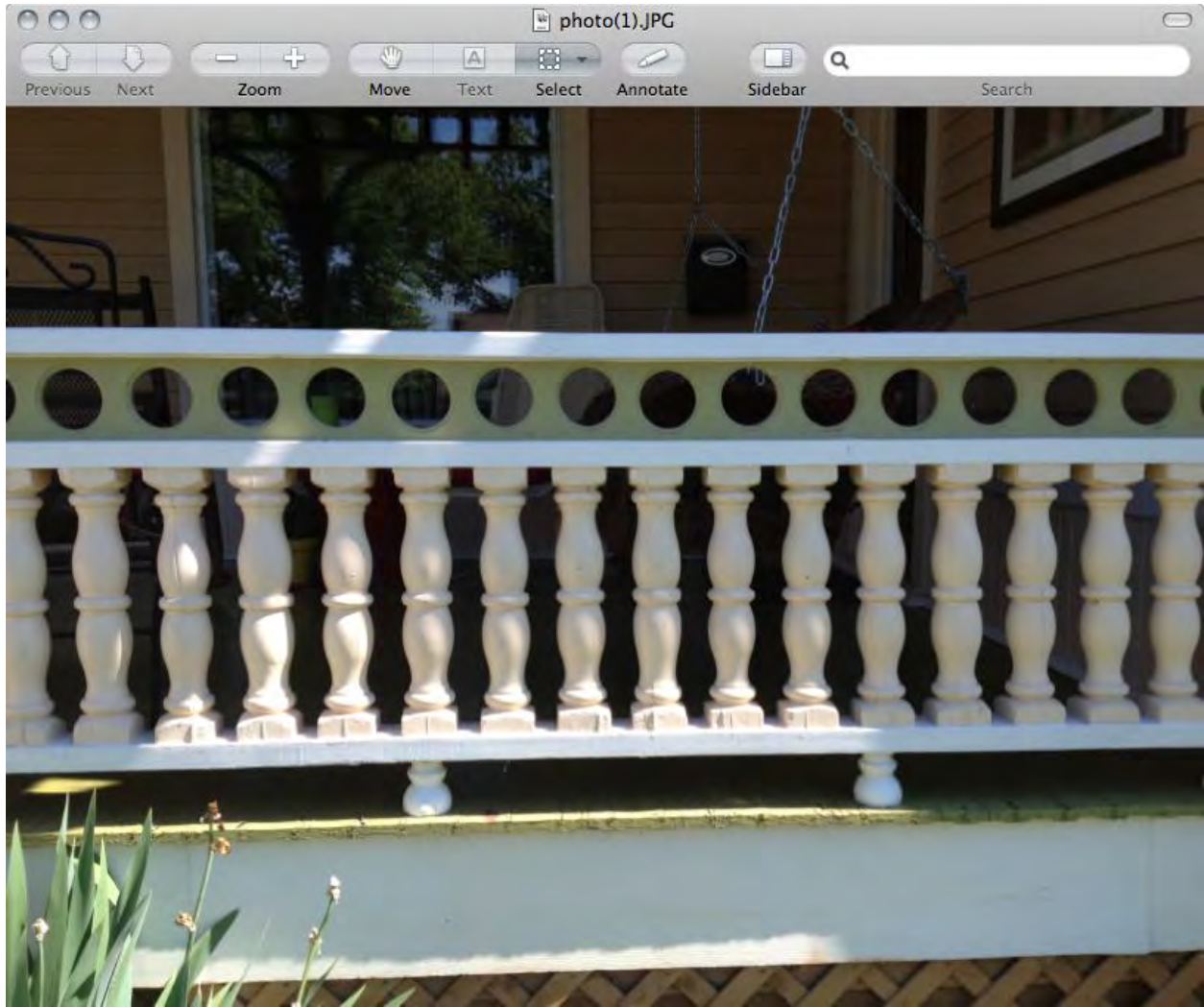


1701 Jefferson Avenue – Front view with deck proposed to project right





1701 Jefferson Avenue – East side view showing proposed deck location



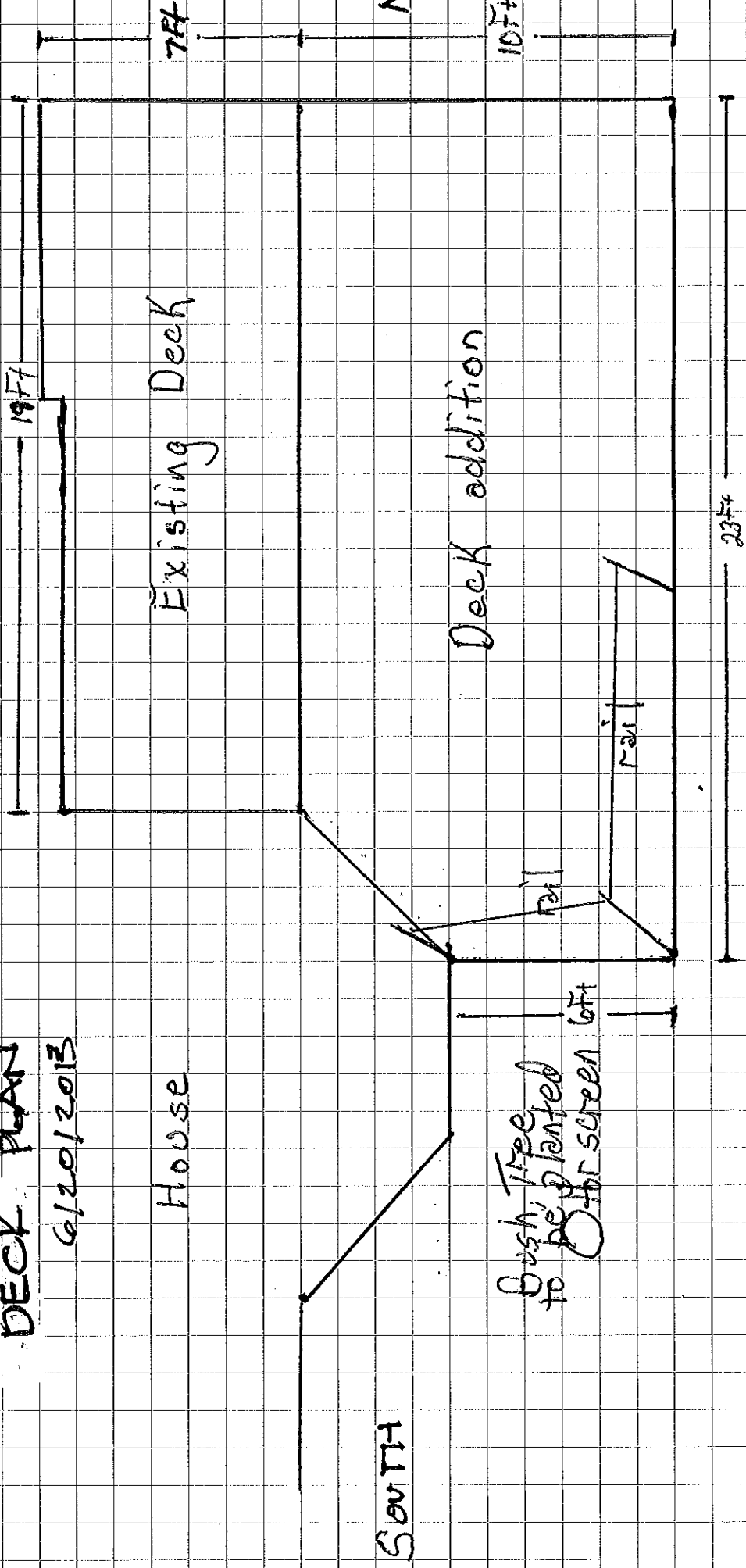
1701 Jefferson Avenue – Close up of balustrade style



Steve Coy  
 Certificate of Appropriateness Application  
 1701 Jefferson Ave.

DECK PLAN  
 6/20/2013

House



decking to be 5/4 x 6 stained boards  
 posts to be 6x6 to match existing 2nd floor porch  
 rails on south + west side to look like existing rails on other 3 porches  
 outside band to be 2x2 boards to match existing 2nd floor porch

WEST